

8. Pedestrian trails
9. Signs, as provided in Section 12
10. Special community events
11. Tennis courts, racquet ball and other recreational facilities
12. Off-street parking as provided in Section 11
13. Conventions
14. Public and quasi-public buildings

Development Standards and Requirements:

Uses permitted in the hotel complex planning area shall comply with the following standards:

1. Lot coverage: Maximum 60 percent
2. Building height: Maximum 60 feet
3. Front setback: Minimum 60 feet
4. Side setback: Minimum 30 feet
5. The procedures outlined in the Open Space and Environmental protection sections 7 & 13.
6. Architectural/Design Controls: The area designated as a hotel site within the easterly portion of the Eagles Nest Property is anticipated as one of the largest sized structures on the site. As such, particular considerations must be given for siting and architectural controls to ensure compatibility with the surrounding landscape, dwellings and the views from neighboring properties.
 - a. The hotel shall be set into the easternmost slope of the property in a manner that causes the structure to appear, as much as possible, an outgrowth of the slope. This siting is intended to offer as little intrusion to lateral views along the slope face as is practicable, while reducing the perceived mass of the structure.
 - b. Exterior materials and surfaces shall be of textures and colorations which will be compatible and blend with the backdrop of the slope.
 - c. Roof lines shall be pitched to approximate, or be visually compatible with, the grade of the slope face to the east of the hotel as far as practicable.

surfaces, shall be of a non-reflective type to minimize reflected light or glare.

- e. Lighted signs, logos, or directional or informational elements shall not exceed ten (10) feet in height (see Section 12).
 - f. Mechanical equipment, vents, vent pipes and other protuberances shall be visually screened from the view of up-slope residences east of the hotel site.
7. Review and Approval: All site plans, building plans, site grading and landscaping plans must be approved by the Committee.

Private Open Space

7. PRIVATE OPEN SPACE

Intent

The intent of this section is to set forth standards which will result in the permanent retention of privately owned open space within Eagles Nest. Open space occurring within Eagles Nest is designed to be an integral part of the character and visual amenities of the project. As a connecting "spine" throughout the Development, these open spaces will separate pedestrians and cyclists from automobile traffic, provide safe passage and access from residential areas to recreational facilities and commercial areas within Eagles Nest.

The following standards shall apply to the privately owned open space areas designated on the Master Plan and all open space areas contained within each planning area. The recreational facilities located in these open space areas, the private recreational area, and the clubhouse area are intended to satisfy recreational needs of the entire Eagles Nest community.

A diverse open space system will also provide visual buffers between land uses and varying residential densities. Other design elements to be considered in developing the open space include the utilization of natural systems for drainage, reduction in runoff velocities, absorption and retention of surface stormwater, and preservation of the unique wooded character of the site.

Uses Permitted

1. Open space and open space easements
2. Bike, equestrian, ski-touring trails
3. Jogging and hiking trails
4. Maintenance facilities
5. Information facilities relating to open space uses
6. Tennis courts, swimming and other recreational areas and facilities
7. Utility easements
8. Golf courses

9. Driving range
10. Temporary offices, sales and administrative facilities
11. Drainageways and stormwater structures, conveyances, retention/detention areas
12. Landscaping, lighting, irrigation and related landscape elements
13. Water wells and pump station

General Standards

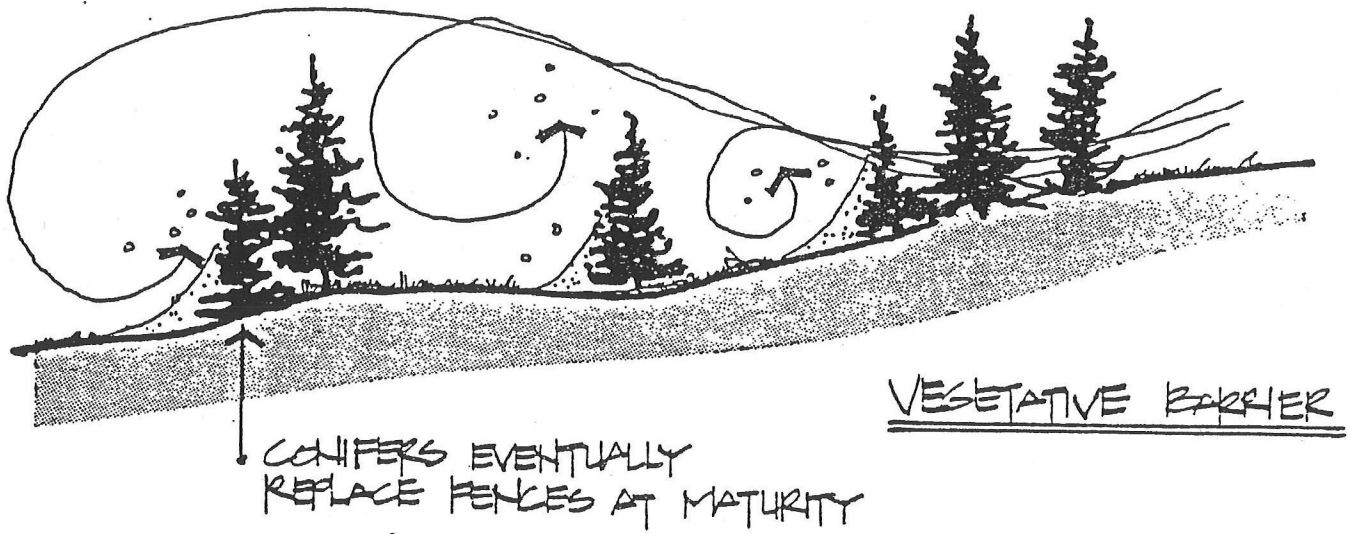
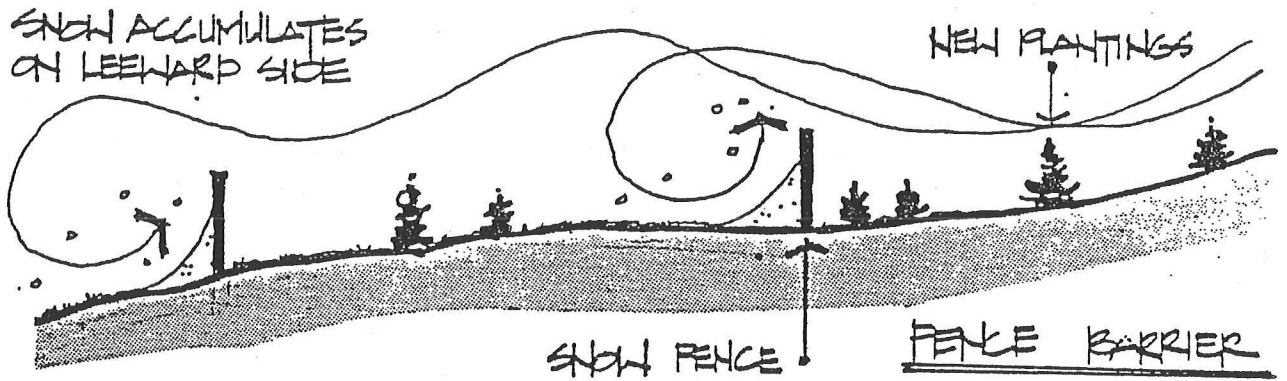
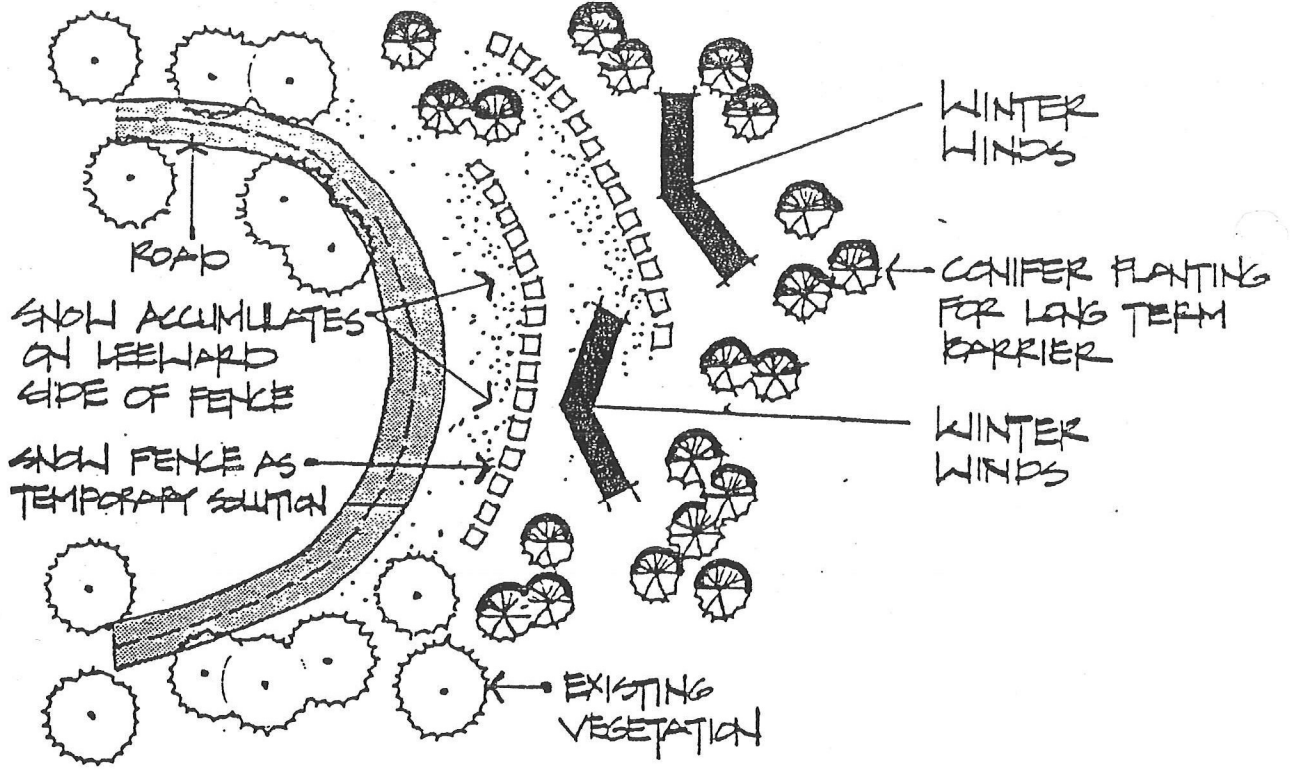
1. Areas disturbed during construction shall comply with the provisions set forth in the Environmental Protection section of this document.
2. Architectural control provisions as provided in Section 2.
3. Fences abutting any open space shall be the responsibility of the Homeowner for construction and maintenance and shall adhere to the standards set forth in Section 2 of this document or other guidelines and covenants established for Eagles Nest.
4. Repair of open space areas, drainageways or facilities which are damaged or altered by the construction of underground utilities, development of homesites, homes or any other structures or landscaping activities shall be the responsibility of the entity doing such damage or alterations. Such areas shall be restored to their original condition before damage or alterations.
5. Open space areas and easements shall be maintained by one or more private maintenance entities, which will be established by and responsible to the Committee.
The responsibility of such an entity shall include:
 - a. Mowing and fertilization of grassed areas
 - b. Maintenance, repair and operation of irrigation systems
 - c. Replacement of diseased or dead plant material
 - d. Trash collection
 - e. Snow removal on sidewalks, roads and parking areas
 - f. Maintenance and repair of any site furniture and/or play equipment
 - g. Maintenance and repair of trails, private drives, parking areas and culverts
 - h. Establishment and enforcement of a timber management program

6. The width of any open space easement shall not be less than 30 feet.
7. Noise buffers or visual screening shall be required within open space areas for the following conditions:
 - a. Potentially incompatible adjacent land uses; i.e., between differing densities, building heights, where off-street parking of three or more spaces occurs, or where there are other similar visual impacts.
 - b. Residential areas adjacent to minor arterial streets, major public recreational facilities or other similar noise-generating impacts.
8. Temporary snow fencing shall be constructed in areas where drifting snow could result in hazardous driving conditions. These areas shall be planted with vegetation to provide shelter belting as a long term solution (see Figure 7.1).

Design Criteria

1. When natural settings do not provide sufficient screening or buffering, a variety of landscape treatments shall be utilized and shall include at least one or any combination of the following treatments:
 - a. Stabilized earth berms
 - b. Vegetative planting
 - c. Fencing or walls

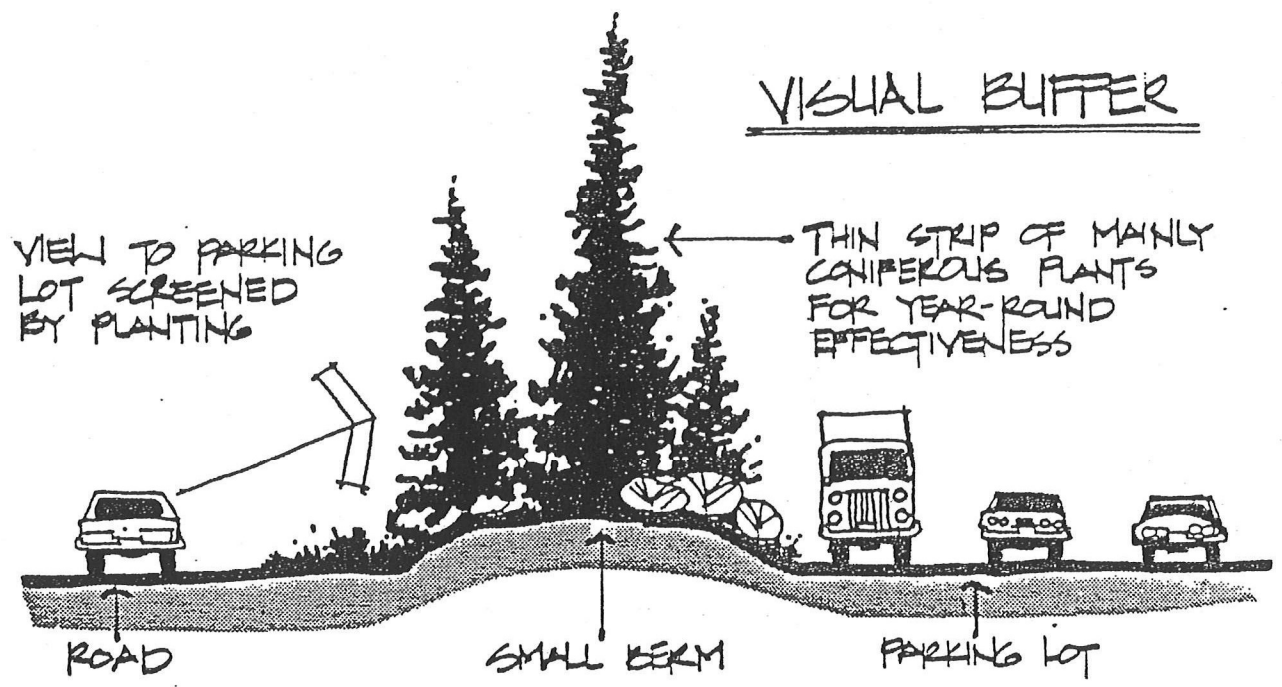
The width and composition of buffers may vary according to landscape treatments utilized and the degree of buffering necessary for different conditions. Plant material selected for visual screening or noise buffering shall have a year-round effectiveness (see Figure 7.2). Plant groupings for buffering noise shall be planted in graduated heights in order to maximize effectiveness.
2. Trees and shrubs used in medians shall be located not closer than 25 feet to the end of the median at intersections.
 - a. Under certain conditions where traffic visibility warrants, a greater setback may be necessary.
3. Plant materials selected for use in Eagles Nest shall be compatible with the native vegetation associations located on the site. Specific plant lists, and additional design criteria will be addressed within the



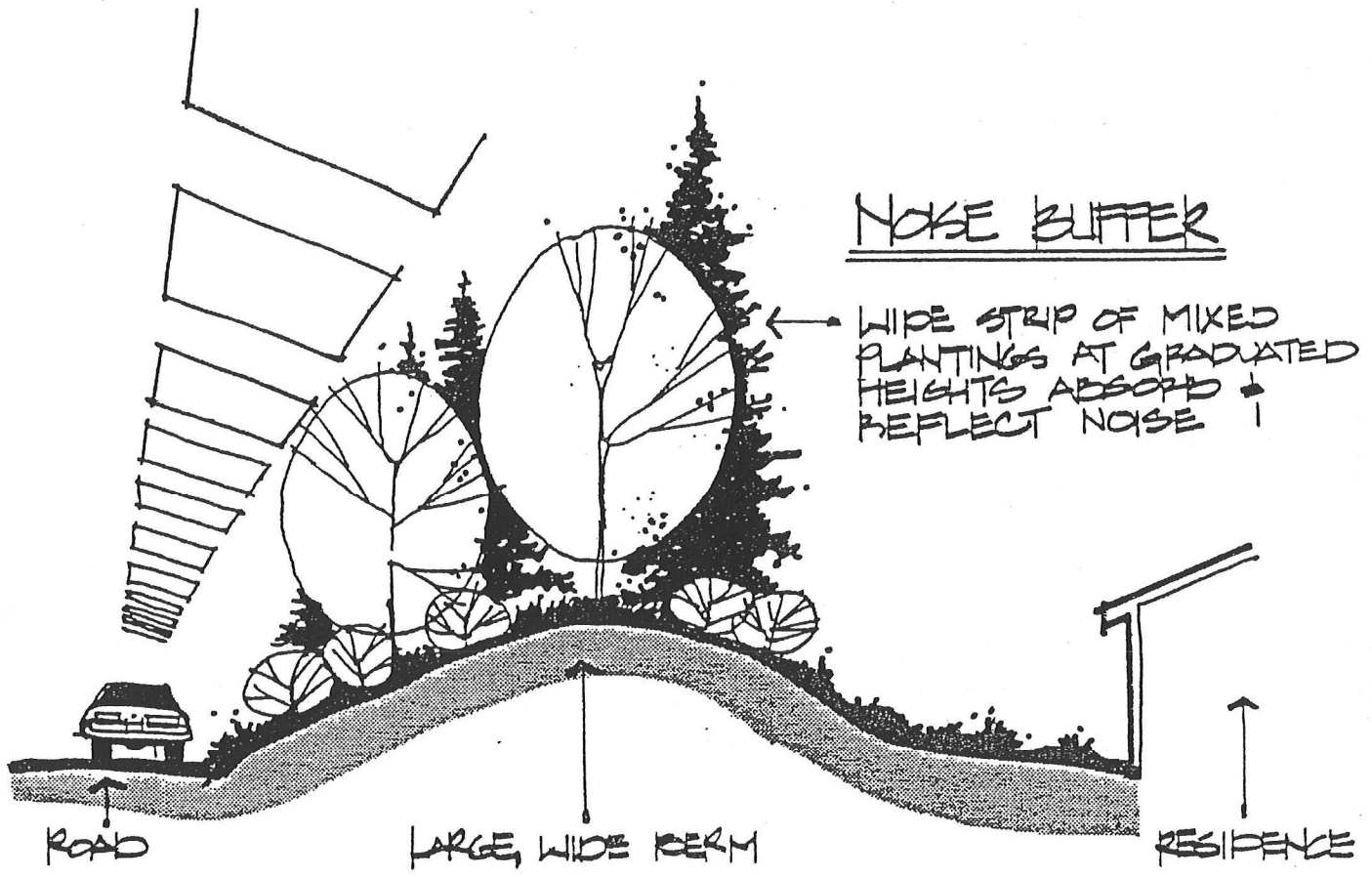
SNOW BARRIERS

FIGURE 7.1
NO SCALE

VISUAL BUFFER



NOISE BUFFER



BUFFER PLANTINGS

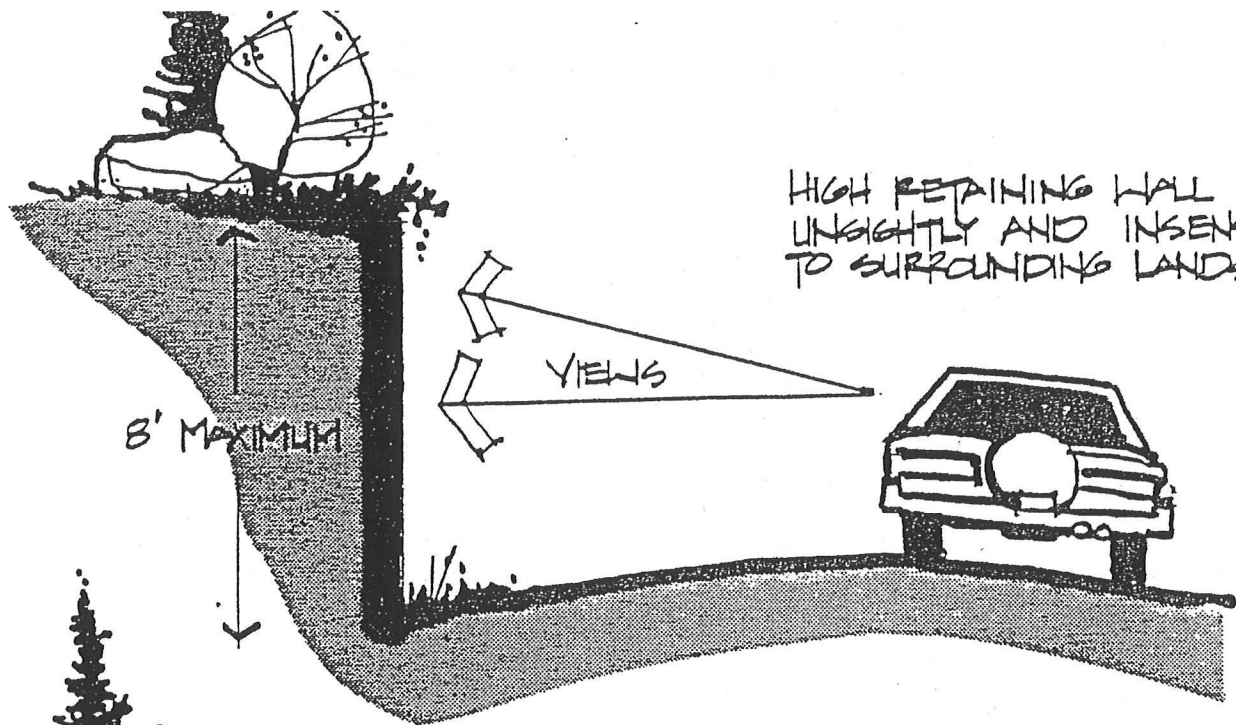
FIGURE 7.2
NO SCALE

restrictive covenants for each area.

4. Irrigation systems used within Eagles Nest shall be water and energy-efficient and shall utilize, wherever possible, drip irrigation systems.
5. Retaining walls shall be utilized to reduce excess slope grades.
 - a. Maximum height for retaining walls shall be 8 feet.
 - b. Retaining walls ranging 4' - 8' in height will be designed so as not to impair traffic visibility. In areas where slopes require higher walls, walls shall be tiered in order to provide areas for vegetation and reduce the visual impact of walls (see Figure 7.3).
6. In areas where extreme slopes or unstable soil conditions occur, walls greater than two and a half feet in height shall be engineered.
7. Material used for fences and walls shall comply with Section 2 of this document.
8. The pedestrian circulation system developed within the open space and other planning areas in Eagles Nest is intended to provide internal access among uses for a variety of circulation modes including:
 - a. hiking
 - b. equestrian
 - c. bicycle
 - d. ski touring
 - e. jogging

Seasonal variations in pedestrian activity, and the compatibility of some activities can result in two trail/path types. Hiking, ski touring and equestrian activities are compatible and can utilize the same trail. These trails shall be unimproved dirt trails not less than six feet in width (see Figure 7.4). Pathways designed for jogging/walking and bicycling shall require an improved surface not less than seven feet in width and shall primarily serve the higher density areas in the eastern portion of Eagles Nest.

Shoulder widths for pedestrian trails and paths shall be a minimum of 1-1/2 feet except where trails are adjacent to steep slopes or stable objects in which case the minimum shall be two feet.

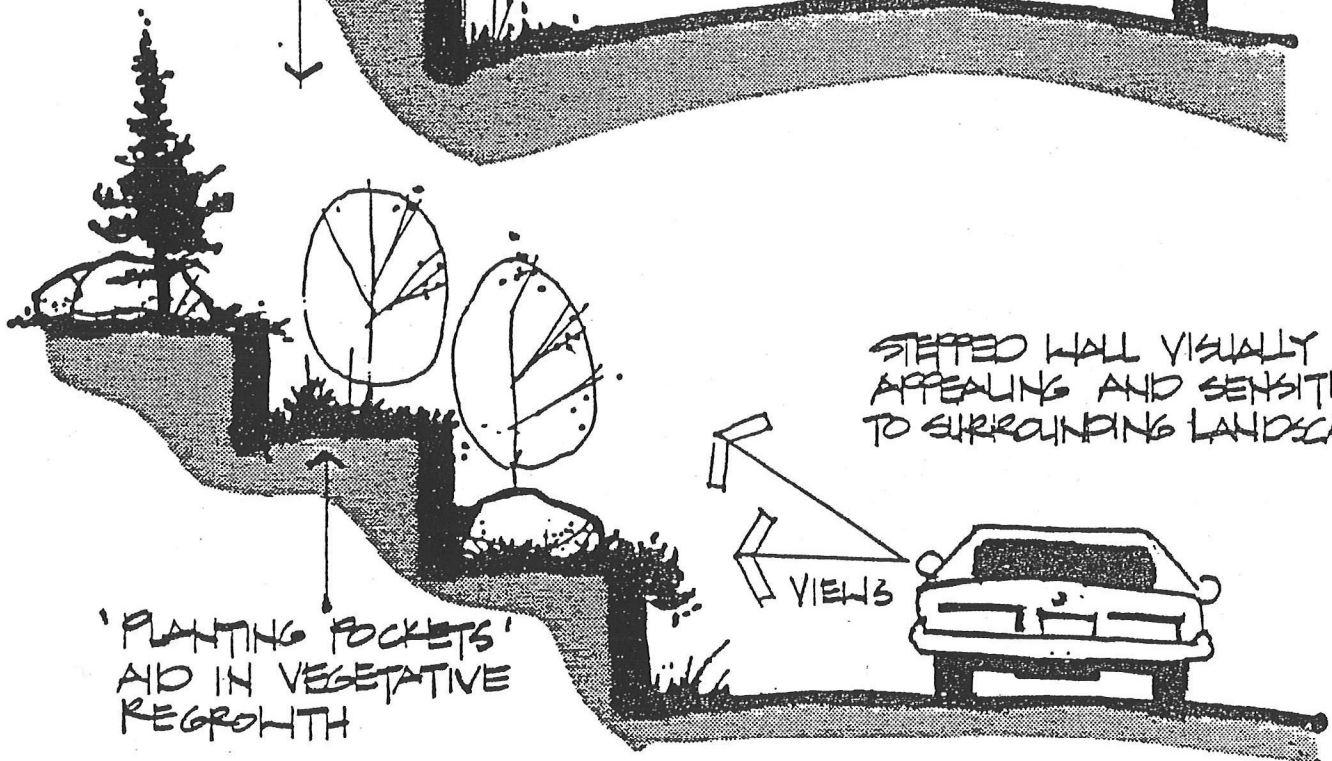


HIGH RETAINING WALL
UNSIGHTLY AND INSENSITIVE
TO SURROUNDING LANDSCAPE

8' MAXIMUM

VIEWS

STEPPED WALL VISUALLY
APPEALING AND SENSITIVE
TO SURROUNDING LANDSCAPE



'PLANTING POCKETS'
AID IN VEGETATIVE
REGROWTH

VIEWS

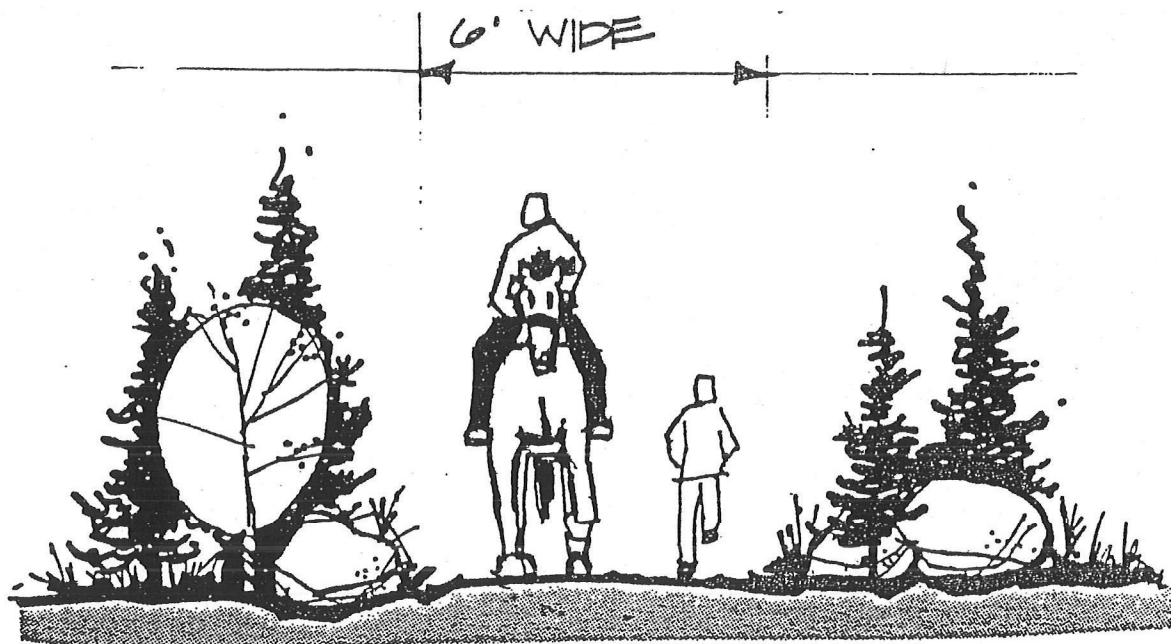
* NOTE:

MINIMUM SEPARATION FROM EDGE OF SHOULDER
TO RETAINING WALL SHALL BE 10 FEET.

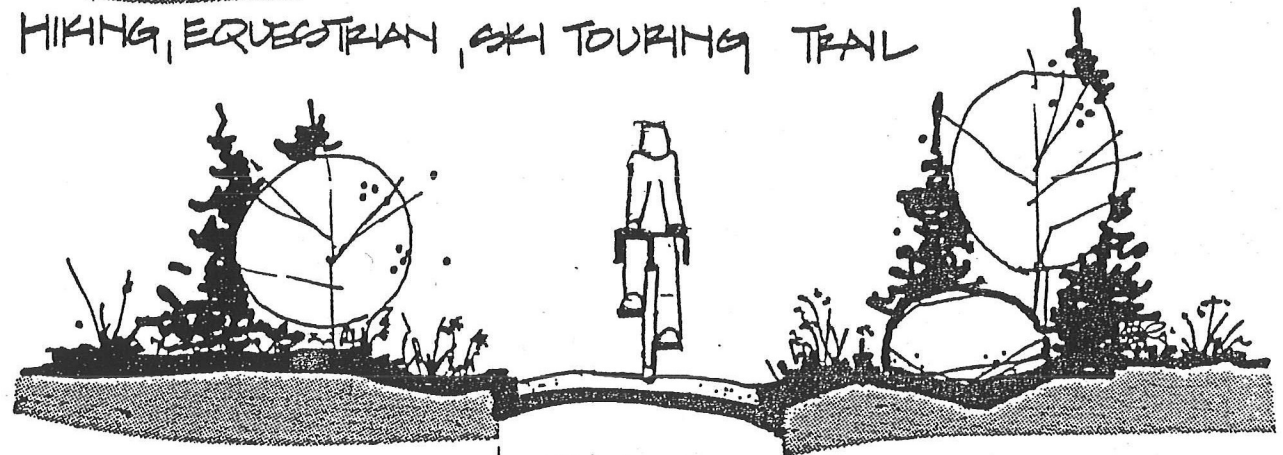
RETAINING WALLS

FIGURE 7.3

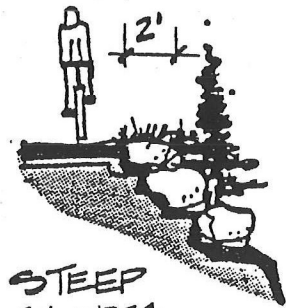
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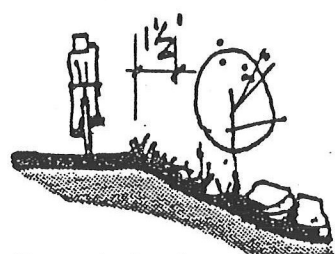
HIKING, EQUESTRIAN, SKI TOURING TRAIL



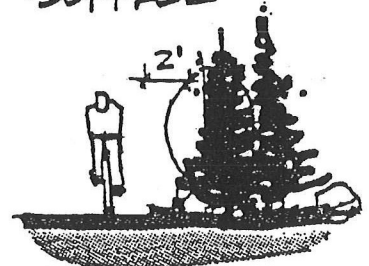
JOGGING, BIKING PATH WITH IMPROVED SURFACE



STEEP SLOPES



MEDIUM SLOPES



FLAT AREAS
MINIMUM FROM OBJECT

SHOULDER WIDTHS

TRAIL SYSTEM.

FIGURE 7.4
NOT TO SCALE

Golf Club Facility

8. GOLF CLUB FACILITY

Intent

The intent of this section is to present standards and land uses developed for the establishment of a Golf Course, Golf Club Facility and closely associated uses and facilities within Eagles Nest.

Uses Permitted

The following uses are permitted in areas designated as Golf Course and Golf Club Facility subject to proper consideration of the standards set forth in this document:

1. Golf course
2. Open space
3. Residential dwellings
4. Temporary offices and sales facilities
5. Drainageways and stormwater structures, conveyances, retention/detention areas
6. Administrative offices, retail and commercial functions, restaurants, liquor service, concessions, franchises and related services that pertain to the operations, membership and management of a private or semi-private club
7. Maintenance facilities
- 8. Utility services and easements
9. Recreational facilities
10. Guard houses for ingress/egress security
11. Temporary contractor construction buildings, trailers and storage areas.
12. Off-street parking (as provided in Section 11)
13. Signage (as provided in Section 12)

Development Standards

1. Any use permitted within the Golf Course or Golf Course Facility shall comply with all standards and requirements set forth in the following sections:
 - a. General provisions
 - b. Open space
 - c. Roadways

- d. Architectural/Design controls
- e. Environmental protection
- 2. Maximum lot coverage: 75 percent
- 3. Building setbacks:
 - Front setback and to any public street: 40 feet
 - Rear setback: 25 feet
 - Side setback: 25 feet
- 4. Maximum building height: The designated maximum building height shall be considered as the vertical distance from the average finished ground level of the building site to the highest point of the structure directly above that ground level. As a general principle, no structure or appurtenance shall be higher than the average canopy height of tree cover in the vicinity of the structure. Individual structures or building groups in the open meadow areas shall be limited in height to conform to the average canopy height along meadow edges. Additional height considerations to preserve views of the open space or landscape external to the site shall be provided within the restrictive covenants for individual areas at the time of platting.
- 5. Review and approval: All site plans, building plans, architectural plans, site grading and landscape plans must be approved by the Committee.

Recreational Facility

9. RECREATION FACILITY

Intent

The intent of this section is to present standards and land uses developed for the establishment of recreational facilities and closely associated uses within Eagles Nest.

Uses Permitted

The following uses are permitted in areas designated as recreational facilities subject to proper consideration of the standards set forth in this document:

1. Recreational facilities, services and structures
2. Open space
3. Temporary office and sales facilities
4. Drainageways and stormwater structures, conveyances, retention/detention areas
5. Administrative offices, retail and commercial functions, restaurants, liquor service, concessions, franchises and related services that pertain to the operation, membership and management of a private recreational club
6. Maintenance facilities
7. Utility services and easements
8. Guard houses for ingress/egress security
9. Temporary contractor construction buildings, trailers and storage areas
10. Off-street parking as provided in Section 11
11. Signage as provided in Section 12
12. Public or quasi-public buildings

Development Standards

1. Any use permitted within recreational facilities shall comply with all standards and requirements set forth in the following sections:
 - a. General provisions
 - b. Open space
 - c. Roadways
 - d. Environmental protection
2. Maximum lot coverage: 80 percent
3. Building setbacks:

3. Building Setbacks:

Front setback and to any public street:	40 feet
Rear setback:	25 feet
Side setback:	25 feet

4. Maximum building heights: 35 feet

The designated maximum building height shall be considered as the vertical distance from the average finished ground level of the building site to the highest point of the structure directly above that ground level. As a general principle, no structure or appurtenance shall be higher than the average canopy height of tree cover in the vicinity of the structure. Individual structures or building groups in the open meadow areas shall be limited in height to conform to the average canopy height along meadow edges. Additional height considerations to preserve views of the open space or landscape external to the site shall be provided within the restrictive covenants for individual areas at the time of platting.

5. Recreational facilities shall comply with the architectural/design controls in Section 2, and with additional covenants and restrictions instituted at the time of platting.

6. Review and approval: All site plans, building plans, site grading and landscape plans must be approved by the Committee.

Roadways

10. ROADWAYS

Intent

The Eagles Nest property is located on mountainous terrain which poses severe site limitations that are not characteristic of the rest of the Town of Silverthorne. Therefore, a street system was developed for Eagles Nest based on a hierarchy of roadway types which respond to the physical constraints of the site and to projected traffic volume generated by the land uses. This type of approach can eliminate excessive pavement widths, minimize cut/fill slopes and vegetative clearing and reduce excess stormwater runoff volume and velocity. An overall street plan will enable Eagles Nest to develop an efficient and environmentally sensitive street pattern with an emphasis on vehicular safety and maintenance while meeting the needs of emergency vehicle access and response times.

The Developer acknowledges that the Town will consider the following standards (which may be less stringent than current Town standards) as typical standards for development within the Eagles Nest property. These standards will be subject to review at each subdivision stage and may be modified by the Town as necessary to insure that the roadways satisfy the intent noted above. The Town may require stricter standards, depending on the traffic, topography and other considerations. No road construction shall take place without review and approval of the Town.

Roadway Classification

The engineering and design standards recommended for Eagles Nest have been compiled on Tables 10.1 and 10.2. A description of each street type with a typical plan and section follows the Tables.

Street Types:

1. Major Road: These roads are designed to convey vehicles from local streets to Highway 9 (see Figure 10.1). The major road occurs as a loop road running north/south through the west side of the property and in the center

of the project from Highway 9 to the Golf Club Facility (see Figure 10.2). Direct driveway access is discouraged. However, isolated cases may necessitate direct driveway access due to severe site characteristics. Street grades at intersections with the major loop road shall be treated as illustrated in Figure 10.3. The major road east of Highway 9 connects the Highway to the Commercial and Hotel Centers, and will be a boulevard style road (see Figure 10.4). At major road and Highway 9 intersections, landscaped medians may occur (see Figure 10.4).

2. Local streets: Local streets are divided into three categories and with standards directly related to the projected traffic volumes. High use local streets (see Figure 10.5) are intended to convey traffic volumes from higher density areas, i.e., multi-family to a major road, but in certain cases may necessitate direct driveway access due to site characteristics. Moderate use local streets are intended to carry traffic volumes from less dense areas, such as low and moderate density single family detached and some multi-family areas to major roads (see Figure 10.6). Direct driveway access is allowable. In certain situations where site conditions such as steep terrain warrant additional flexibility, low use local streets or turn-arounds may be necessary. Under such circumstances, this street type would only be used in areas with low traffic volumes (see Figure 10.7). Whenever turn-arounds are utilized, accommodations for additional snow stacking shall be made.

Roadway Maintenance

Town Dedicated Roads:

All areas within the rights-of-way and easements of dedicated roads shall be the responsibility of the Town of Silverthorne Road Department. Maintenance of landscaped medians within the right-of-way shall be the responsibility of the Developer. The responsibilities for landscaped medians shall vary for native and landscaped areas.

Maintenance of Native Areas:

1. Mowing of grassed areas
2. Timber management within forested areas
3. Maintenance of drainage swales and retaining walls

Maintenance of Landscaped Areas:

1. Mowing and fertilization of grassed areas
2. Pruning and trimming of trees and/or shrubs containing dead material and/or branches that affect traffic or pedestrian safety
3. Replacement of diseased or dead plant material
4. Maintenance, repair and operation of irrigation systems
5. Maintenance of retaining walls and drainage swales

Private Roads:

In areas where site planning necessitates private streets, maintenance shall be conducted by a private entity other than the Town of Silverthorne. The function and responsibilities of such an entity shall include the following:

1. Maintenance and repair of roadway pavement and shoulders
2. Snow plowing and sanding (Snow shall not be plowed on to public roads)
3. Mowing of grassed areas and timber management in forested areas
4. Maintenance and repair of culverts and drainage swales

General Standards and Requirements

1. No on-street parking shall be permitted on any public or private streets.
2. Full access turns shall be provided to Eagles Nest major roads from Highway 9, if approved by the State Highway Department.
3. Slope treatment and erosion control: All cut and fill slopes created by road construction will comply with the requirements of Section 13 in this document. The slope ratio for cut and fill slopes (see Table 10.1) will allow for ease of stabilization, revegetation and maintenance. When steep slopes necessitate retainage, the environmental considerations listed in Sections 13 and 2 of this document shall be followed. All retaining walls, culverts, and bridges shall be reviewed for approval by the Committee.
4. Drainage: The stormwater collection network, used within street rights-of-way, will utilize conveyance swales and, when necessary, check dams. Provisions in Section 13 shall be followed.

TABLE 10.1

Type	Maximum Grade (3&4)* (%)	Minimum Length Vertical Curve (Feet)	Minimum Radius Horizontal Curve (Feet)(1)*	Tangent Length(2)*	Maximum Side Slopes Earth Cut/Fill(5)*	Rock Cuts	Minimum Intersect Distance (Feet)
Major Road:	6	150	300	150	2:1	1:11	2,050
Local Streets: High, Moderate	6	100(5)*	75 Minimum	100 Minimum	2:1	1:1	500
Low Use	"	"	"	75 Minimum	"	"	"

(1)* When site limitations warrant, the Town may consider a reduced centerline radius of 150 feet for major loop roads and 75 feet for local high and moderate use streets.

(2)* When site limitations warrant, minimum tangents between horizontal curves may be reduced to 100 feet for major loop roads and 75 feet for local high and moderate use streets.

(3)* When geographical limitations warrant, maximum grade may be increased by 2% on south facing slopes upon approval of the Town. In extreme topographical conditions, the Town may consider increased local street grades up to 10% on south facing slopes. Where reduced minimum center line radii are used, center line grades shall not exceed 4% on major loop roads and 6% on local streets.

(4)* Minimum vertical curve may require modification according to road grade.

(5)* Slopes steeper than 3:1 shall comply with the environmental protection section and shall be subject to approval by the Committee.

TABLE 10.2

Type	Right-of-Way (Feet)(5)*	Travel Lanes	Turning Lanes	Recommended Speed Limit (MPH)	Pavement Widths (Feet)	Parking
Major Road:	60(2)*	2		30	24(1)*	No on-street
Boulevard	75	4	1	35	48	No on-street
Local Streets:						
High Use	60(2)*	2		25	24(3)*	No on-street
Moderate Use	60(2)*	2		25	20	No on-street
Low Use	60(2)*	2		20	20(4)*	No on-street

(1)* The following modifications in road widths shall be necessary when road grades exceed 6%, horizontal curves are less than 300 feet, and at intersections:
 Travel Lanes 13 feet
 Shoulders 3 feet

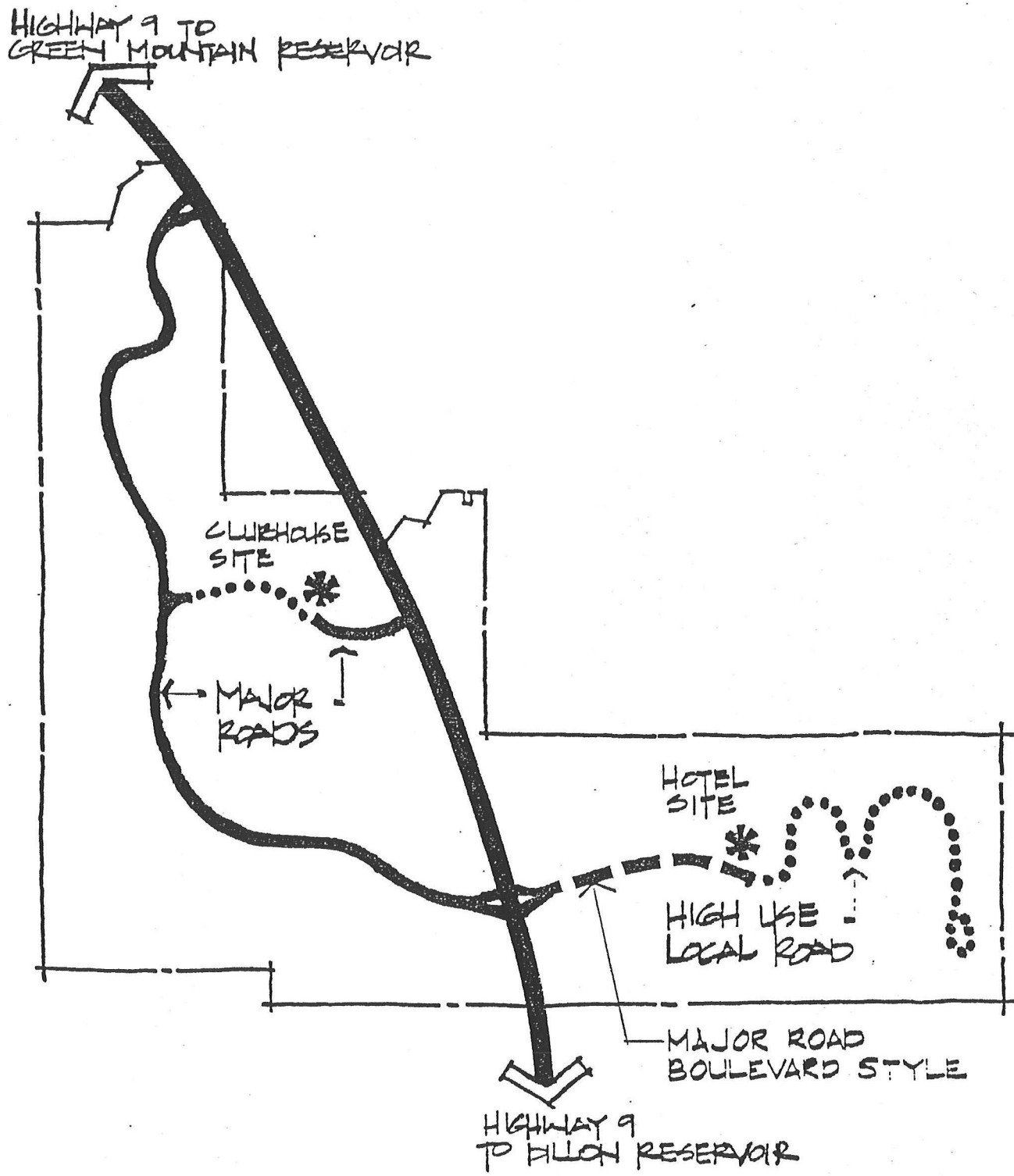
(2)* Additional easements may be necessary for snow stacking, cut/fill slopes and drainageways.

(3)* Travel lanes shall be increased by one foot when either grades exceed 8%, horizontal curves are less than 75 feet or at road intersections.

(4)* When extreme topographic conditions exist, the Town may consider a decrease in road pavement by two feet.

(5)* Road pavements, shoulder, and drainage shall be included within the R.O.W.

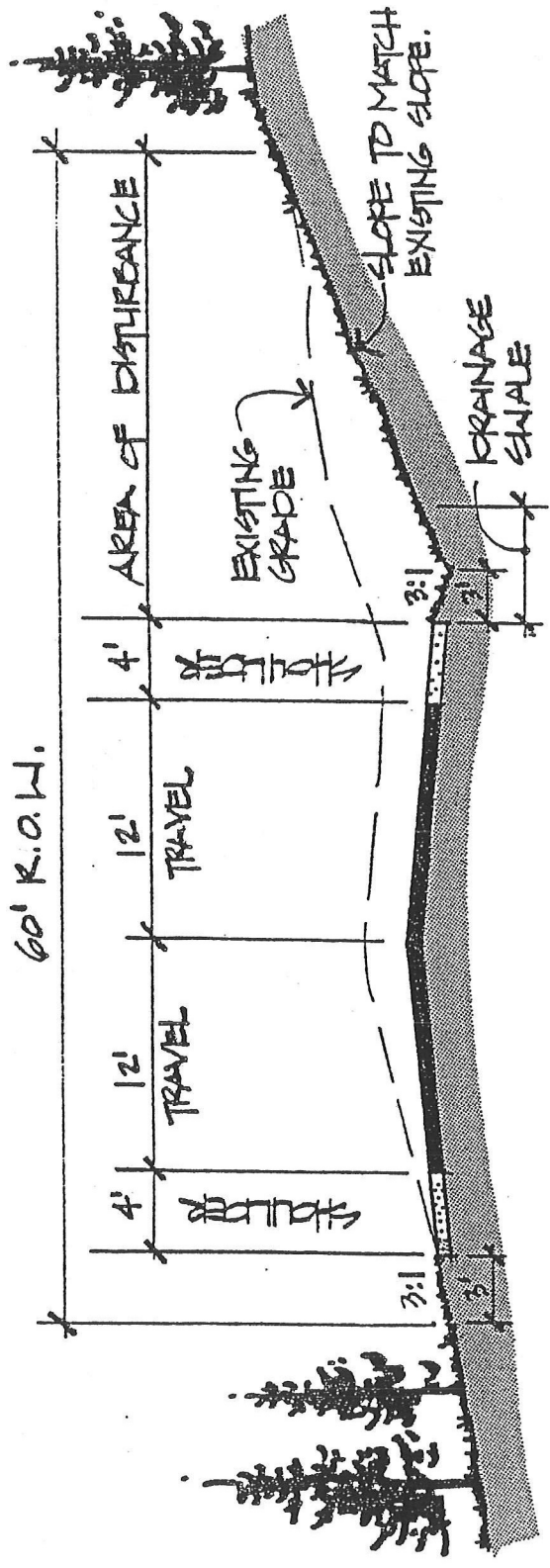
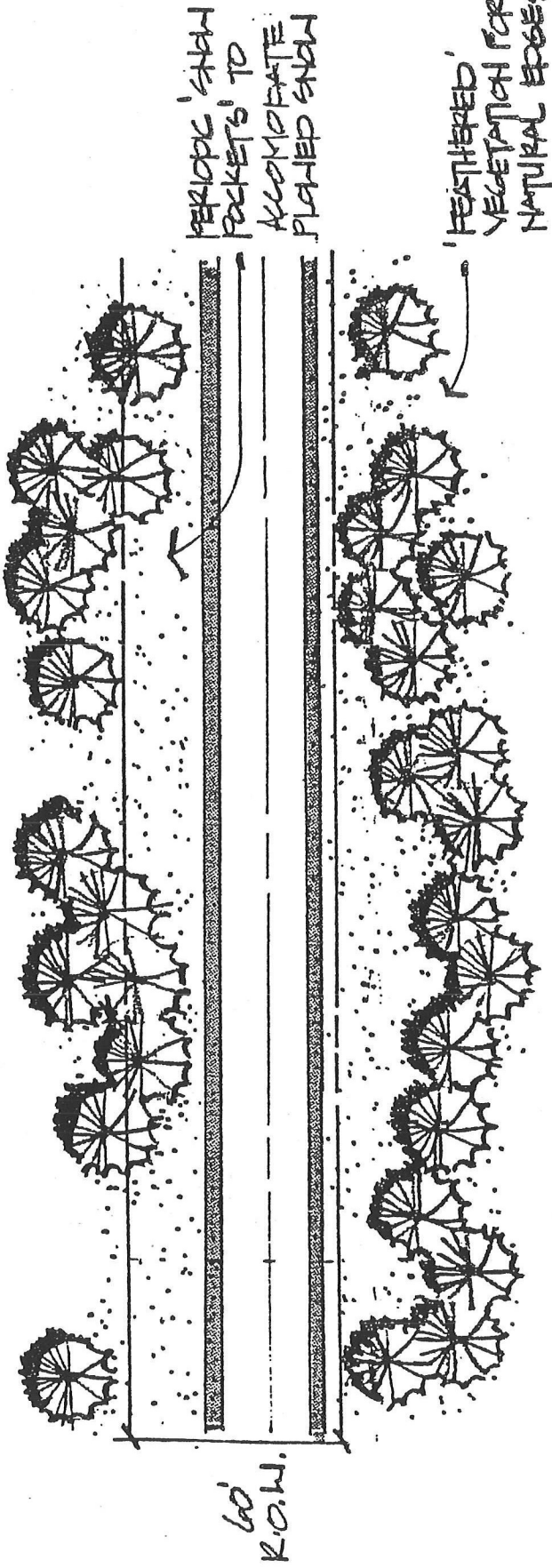
(6)* Internal circulation system within specific areas shall be addressed at the preliminary plat stage, with supporting traffic analysis.



ROAD CLASSIFICATION

FIGURE 10.1

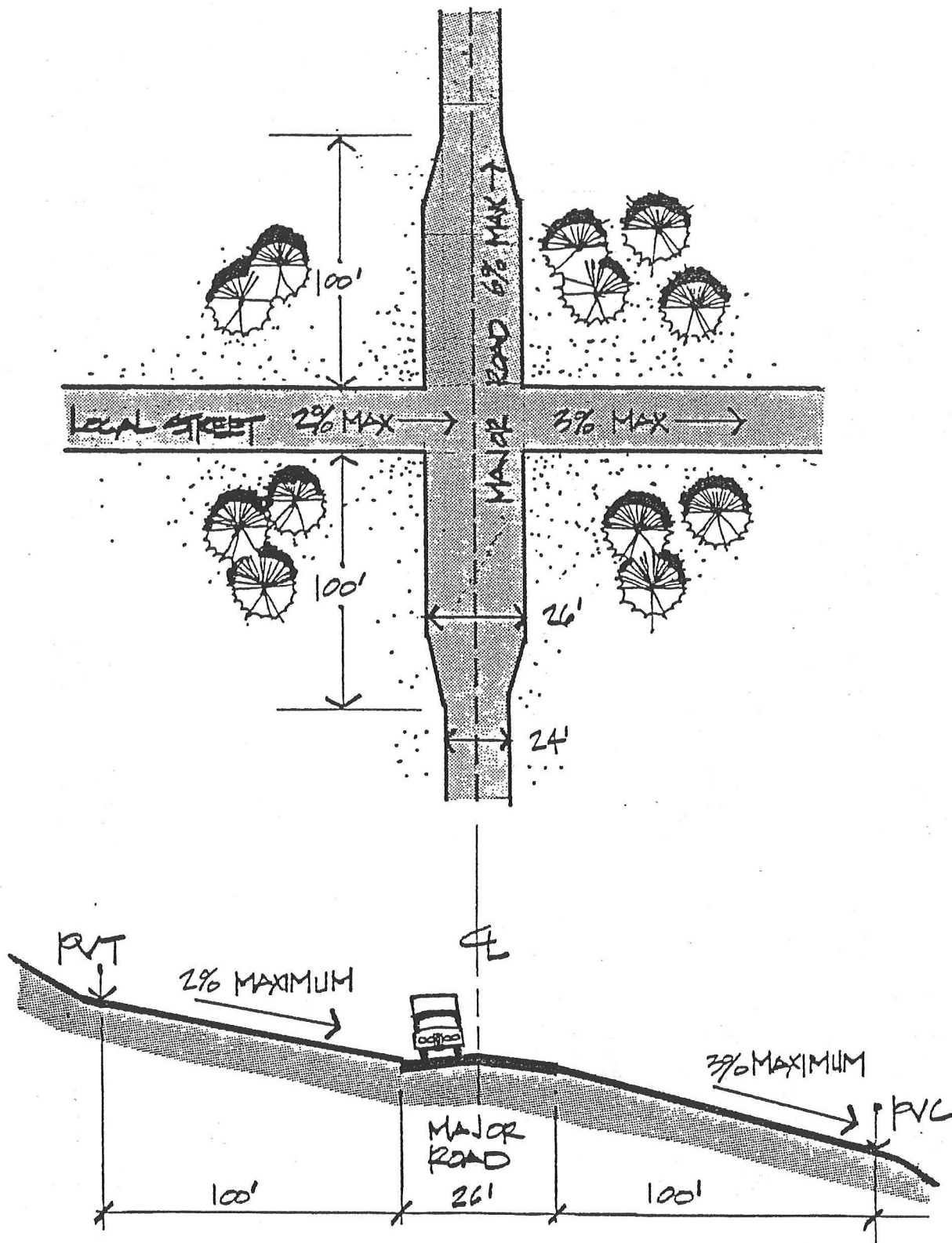
NOT TO SCALE



MAJOR ROAD PUBLIC

FIGURE 10.2

PLAN 1" = 50' SECTION 1" = 10'



STREET GRADES AT INTERSECTIONS

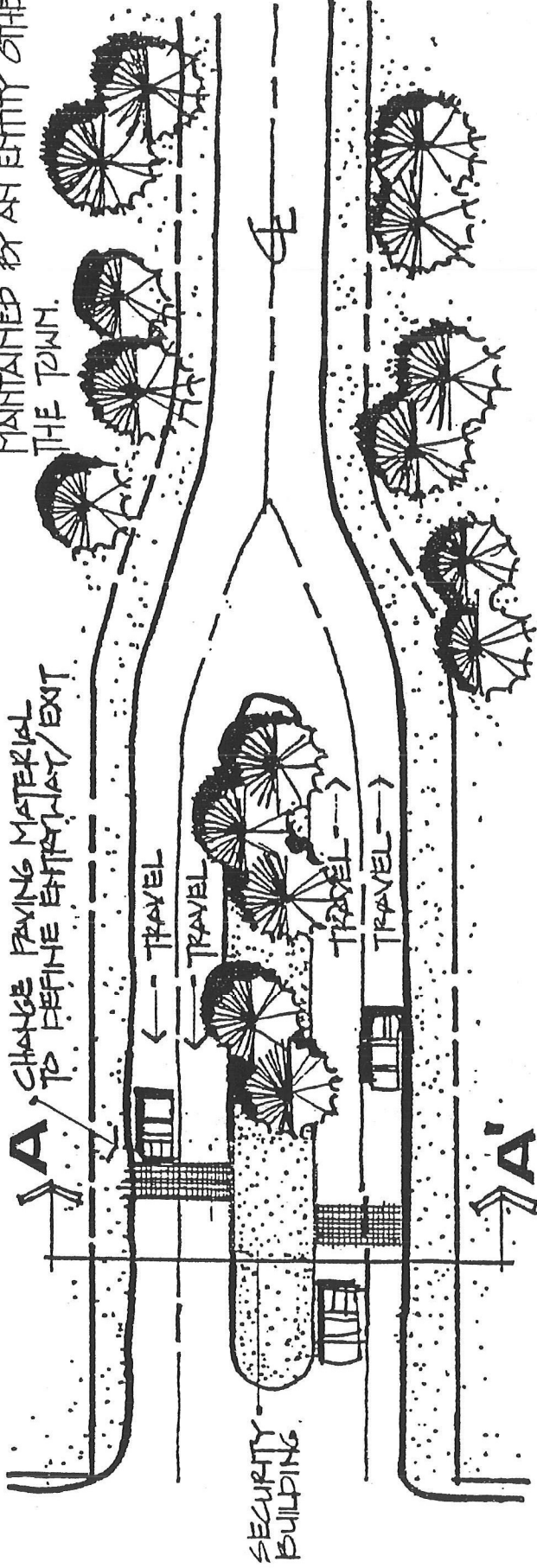
FIGURE 10.3

NO SCALE

1101E.

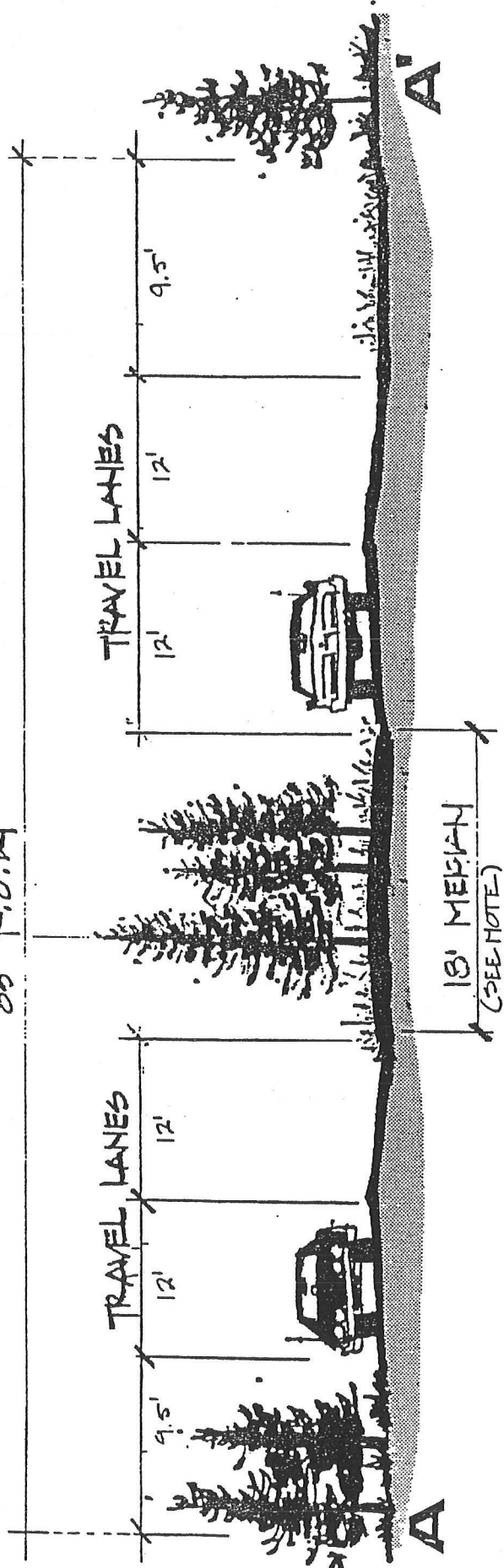
ALL LANDSCAPING & STRUCTURES LOCATED WITHIN THE MEDIAN SHALL BE MAINTAINED BY AN ENTITY OTHER THAN THE TOWN.

A CHANGE PAVING MATERIAL TO DEFINE ENTRANCE/EXIT



TRAVEL LANES

TRAVEL LANES



MEDIAN ENTRANCE

FIGURE 10.4

PLAN 1" = 30' ELEV 1" = 10'